



INFORMATION MEMORANDUM

18 Roy Terrace, Moturoa
New Plymouth

Prospective Purchasers should not be confined to the material herein and should make their own enquiries to satisfy themselves on the accuracy of all aspects.

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Location



18 Roy Terrace, Moturoa, New Plymouth

- Easy walking distance to Moturoa Shopping Centre and amenities, Bowling Club, intermediate plus a selection of primary schools and pre-school daycare facilities.
- Adjacent to the Calvert Road accessway to the Coastal Walkway, Ngamotu Beach, Ocean View Parade cafes/restaurants, retail shops and boat club.
- A quick drive to Lee Breakwater for launching boats or fishing.

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PHOTO GALLERY

Web reference:
robertangus.co.nz/44016

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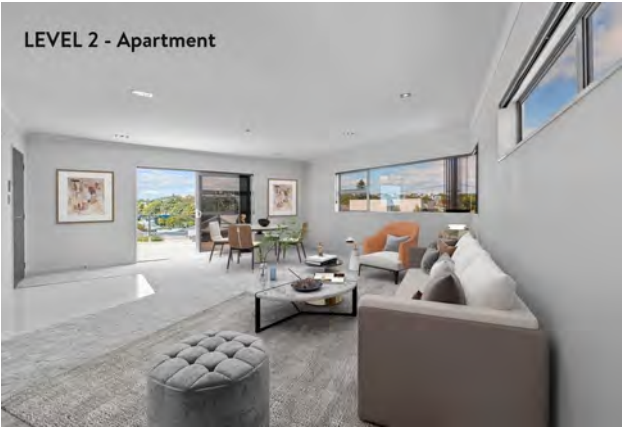
Gallery—Ground Level



Note: All photos with furniture and personal affects have been digitally staged

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Gallery—Middle Level



Note: All photos with furniture and personal affects have been digitally staged

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Gallery—Top Level



Note: All photos with furniture and personal affects have been digitally staged

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WATERFRONT SHOWCASE

18 Roy Terrace

Arguably New Plymouth's finest waterfront residence with commanding stunning panoramic views. This property encapsulates the complete waterfront spectrum of the port, marina and ocean – aquatic life. Prestigious 18 Roy Terrace commands an ABSOLUTELY PRIME WATERFRONT address.

Built for the view and sprawled across three floors, the elaborate 510sqm residence hosts four (plus) bedrooms, multiple living spaces, office/library. The ground floor kitchen, dining and living is open plan with 180° north facing views along the shoreline. The master bedroom commands the top floor with ensuite and spacious walk-in-robe. Waterfront living is paramount as each level commands sea views with the indoor spaces flowing seamlessly to outdoor decks.

A spacious self-contained one bedroom apartment with walk-in-robe is located on the second floor. The apartment flows effortlessly from the kitchen and living space to its own private deck overlooking Mt Taranaki. Glass panelled flooring features as a walkway from the apartment leading to additional expansive living, bathroom and office.

Inundated with quality finishes throughout the distinctive architectural residence hosts a myriad of design concepts; paua finished door handles, curved cabinetry, sea pebble design bathrooms and glass panelling featuring Te Rewa Rewa Bridge to name a few. The entry stairs are a showcase from the opulent foyer, and a lift links the floors for alternative use. Car enthusiasts will relish the internal access garage as is carpeted and easily hosts three cars with the addition of off-street parking, all secured by the remote security gates. The property exudes finesse and quality finishes, that dreams are made of.

A seriously once in a lifetime unique and seldom found opportunity for the astute waterfront buyer. Capital growth is assured as the property is underwritten by the neighbourhood redevelopment. Local amenities, the CBD, coastal walkway, restaurants and schools are all located within close proximity. 18 Roy Terrace, the address speaks for itself!

Information Memorandum available to download online.

robertangus.co.nz/44016

Contact Details



Rachael Whitaker

M 029 773 1713

E rachael@robertangus.co.nz

Property Information

Record of Title: TN116/180 Freehold

Legal Description: Allotment 5-6, DP 1789

Floor Area: 510sqm

Land Area: 931sqm

Bedrooms: 4+

Bathrooms: 2 + 2 ensuites

Rates: \$6,880.03 p/a

Garaging: 3-car + internal access

Improvements: \$1,415,000

Land Value: \$1,320,000

Capital Value: \$2,735,000

Chattels: Burglar/Fire Alarm, Central Vacuum System, Lift, 2x Sound System, 3x Cooktops, 4x Ovens, Microwave, 3x Single-Drawer Dishwashers, Waste Disposal Unit, Blinds, Drapes, Fixed Floor Coverings, Extractor Fans, Safe, Built-in Ironing Board, Intercom System, 6x TVs, 4x Heated Towel Rails, 2x Heat Pumps, Underfloor Heating, Auto Garage Door + Remotes, Clothesline

Expressions of Interest



FLOORPLANS + EAST/WEST ELEVATIONS

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AMENDMENT

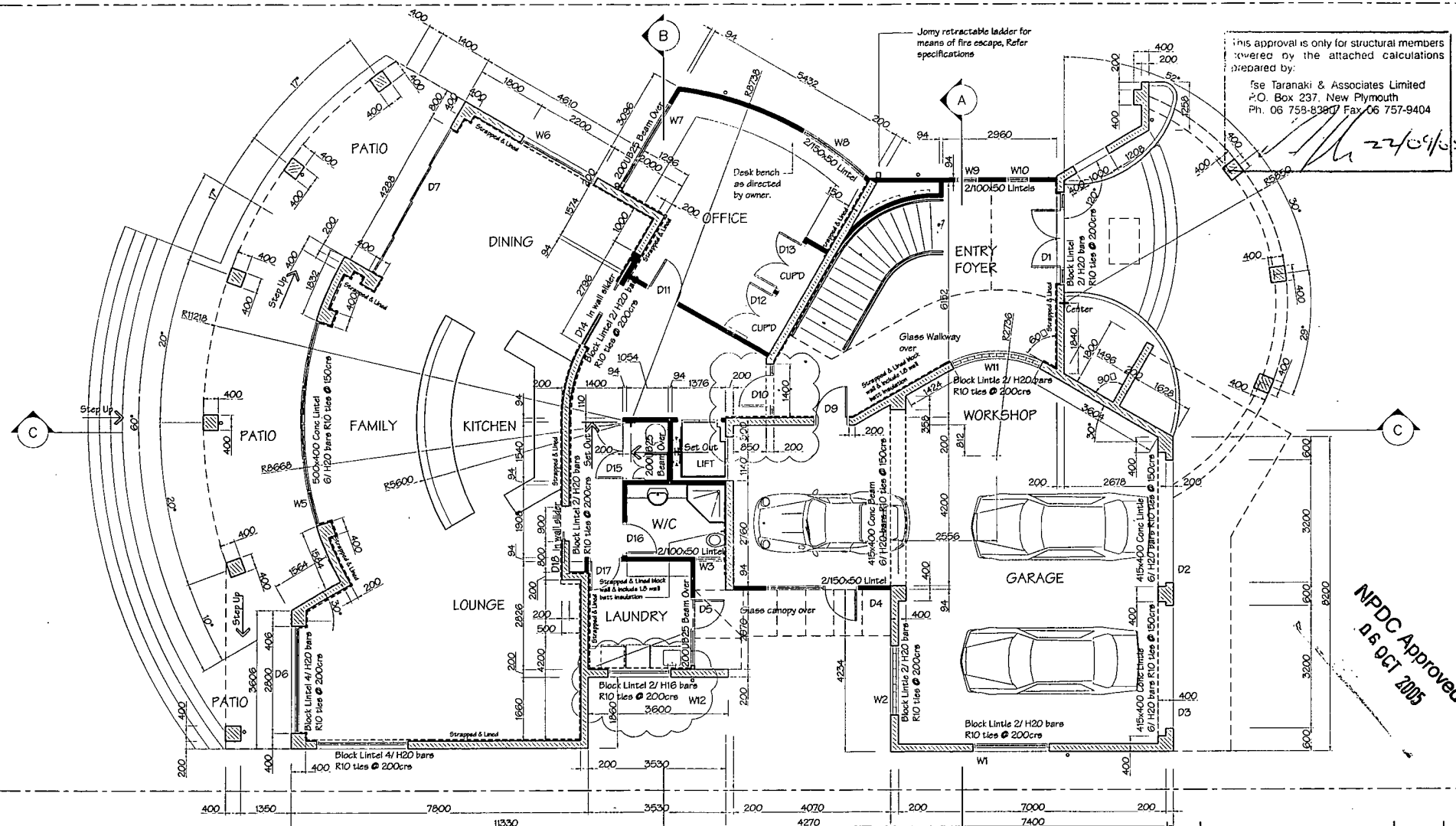
04 04 10 05

DO NOT SCALE

CHECK ALL DIMENSIONS

ORIGINAL SIZE = A1

This approval is only for structural members covered by the attached calculations prepared by:
 Ise Taranaki & Associates Limited
 P.O. Box 237, New Plymouth
 Ph. 06 758-8380 Fax 06 757-9404
 22/09/05



GROUND FLOOR PLAN
 SCALE 1:100

Revision	Description	Date	Rev-By
E	Laundry windows added, hall door moved	04.08.05	AK
D	Plan Altered	06.05.05	AK
C	Plan Altered	28.04.05	AK
B	Wall insulation indicated	12.02.05	OM
A	Lintel reinforcing changed	14.01.05	AK

A2-1 PLANNING 04/08/05 - 09:23

Owen McCluggage Design
 O.P. McCluggage
 11 Young Street Dean House
 New Plymouth Ph/Fax (06) 758 6008

Project Title
PROPOSED NEW HOUSE FOR DON CROW
 ROY TERRACE - NEW PLYMOUTH

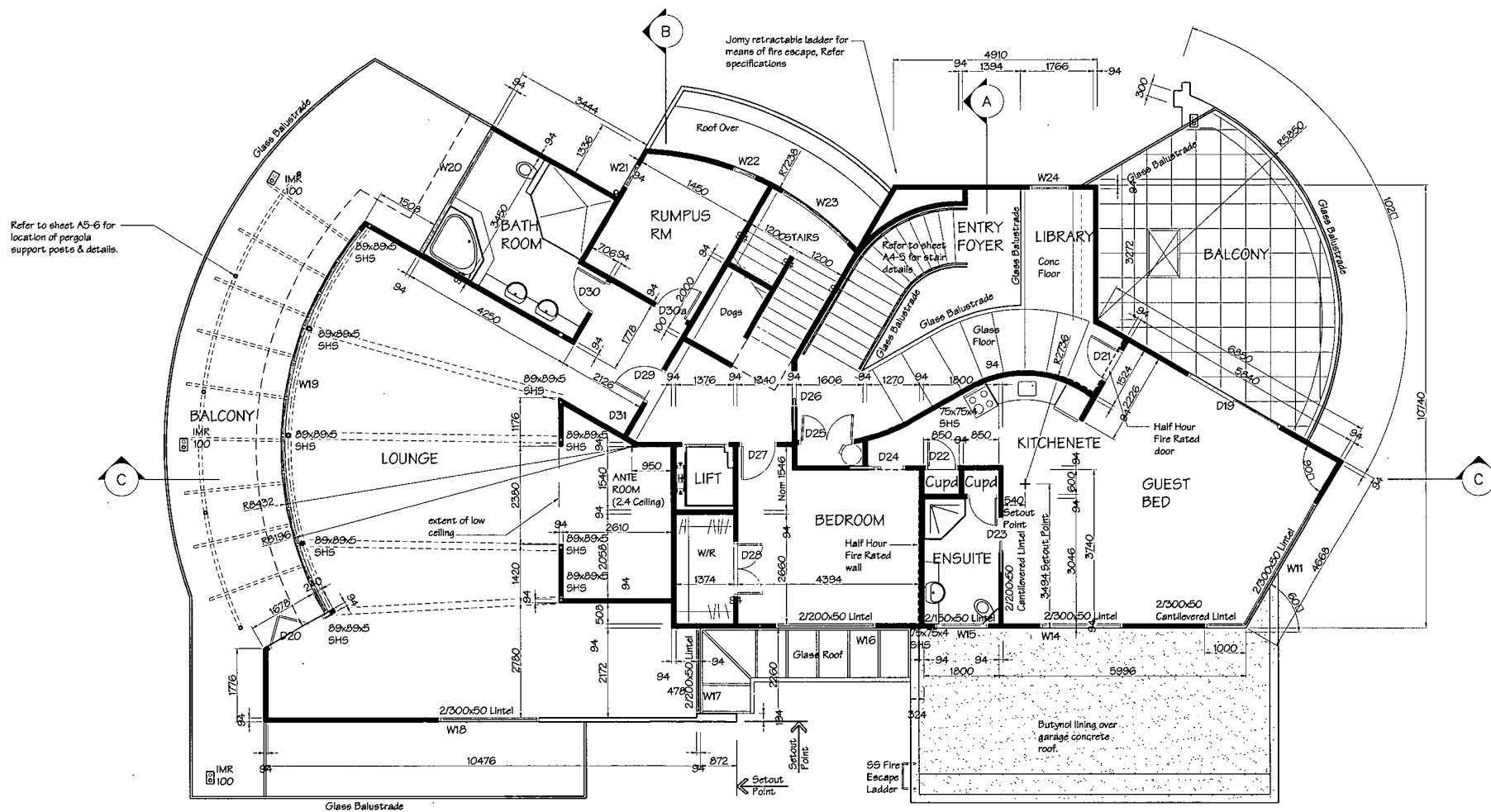
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Drawing Title		Sheet	
FLOOR PLAN		A2-1	
Drawn	AK	Date	17.12.04
Checked		Scale	1:100
Revision		Ref.	332-073

DO NOT SCALE

CHECK ALL DIMENSIONS

ORIGINAL SIZE = A1



FIRST FLOOR PLAN
SCALE 1:100

Revision	Revision Detail	Date	Rev By
G	Amended to "As-Built"	06.10.06	DM
F	Master bedroom made larger	26.09.05	AK
E	Guest Ensuite altered	20.09.05	AK
D	Internal partitions modified to bedroom	05.09.05	AK
C	Deck area revised	06.05.05	AK
B	Deck area & balustrade revised	03.05.05	AK
A	Proprietary Fire escape ladder added	14.01.05	AK

Owen McCluggage Design
O.P. McCluggage NZCAD(ARCH) ADRG2(MOVED)
 11 Young Street Dean House
 New Plymouth Ph/Fax (06) 758 6008

Project Title
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ROY TERRACE - NEW PLYMOUTH

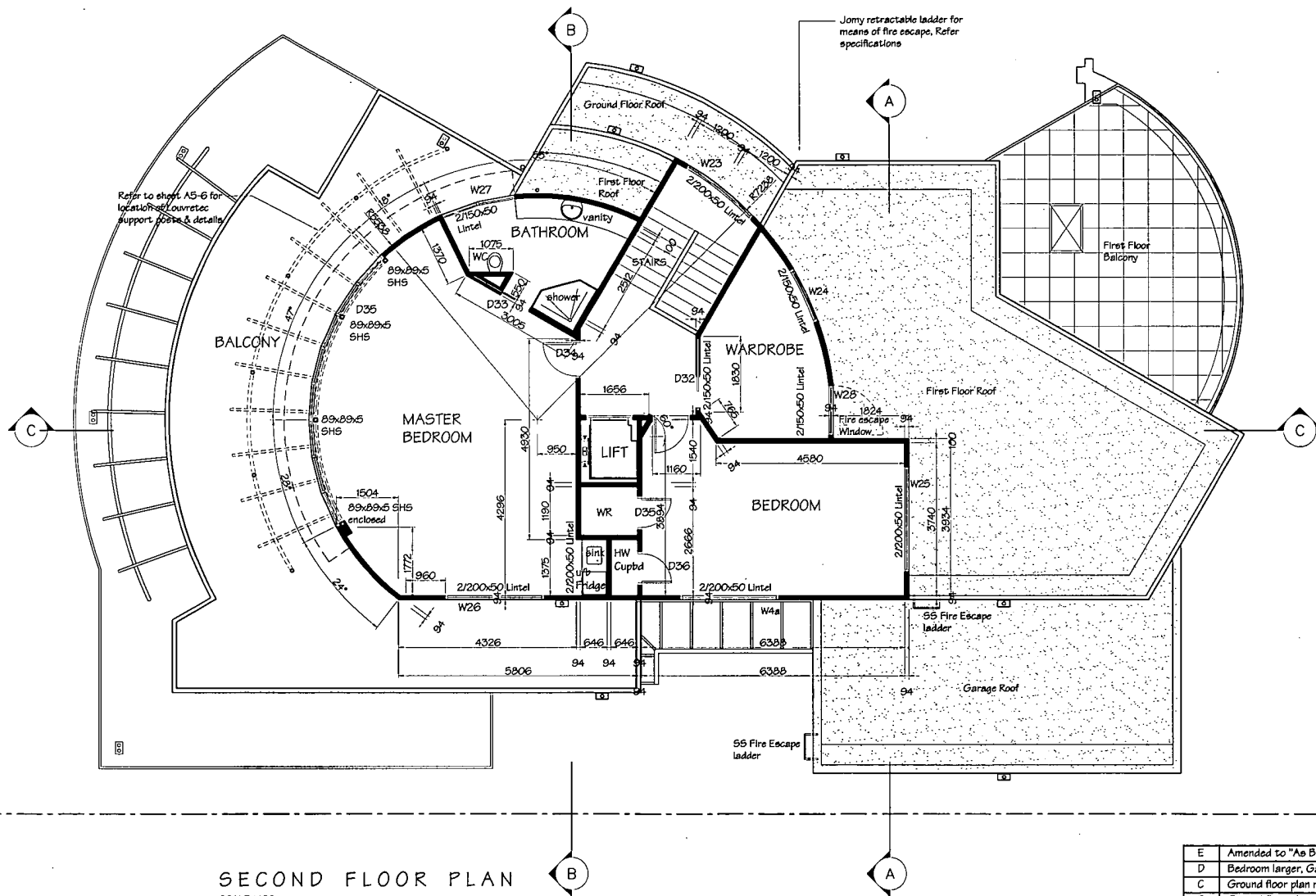
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Drawing Title
FLOOR PLAN

Sheet
A2-2

Drawn AK	Date 20.09.05	Revision -
Checked	Scale 1:100	Ref. 332-073

05/10/06 - 14/02/07 PLAN.DWG



SECOND FLOOR PLAN
SCALE 1:100

Revision	Revision Detail	Date	Rev By
E	Amended to "As Built"	05.10.06	OM
D	Bedroom larger, Games room added	26.09.05	AK
C	Ground floor plan revised	06.05.05	AK
B	Ground floor plan revised	03.05.05	AK
A	Proprietary Fire escape ladder added	14.01.05	AK

Drawing Title		Sheet	
FLOOR PLAN		A2-3	
Drawn AK	Date 17.12.04	Revision -	
Checked	Scale 1:100	Ref. 332-073	

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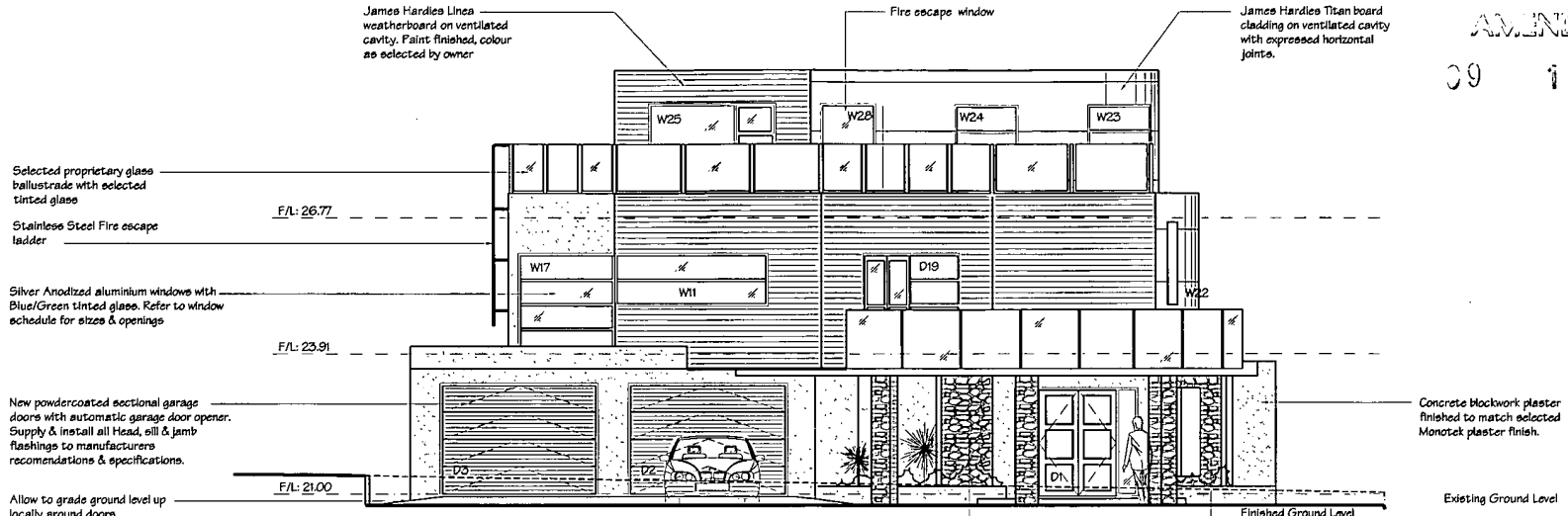
Project Title
**PROPOSED NEW HOUSE FOR
DON CROW
ROY TERRACE - NEW PLYMOUTH**

Owen McCluggage Design
O.P. McCluggage
11 Young Street
New Plymouth
Dean House
P.O. Box (05) 758 6008

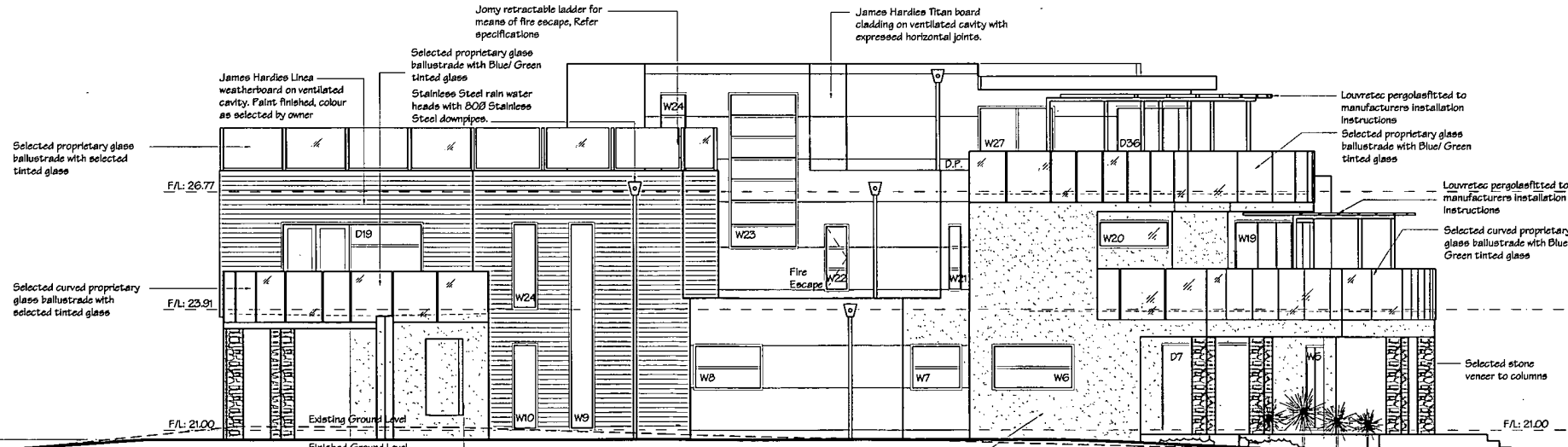
05/10/06 - 12:57A2-3 PLANDING

DO NOT SCALE
CHECK ALL DIMENSIONS
ORIGINAL SIZE = A1

AMENDMENT
09 111003



STREET FRONT (SOUTH) ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

C	First & second floors made larger	19.09.05	AK
B	Ground floor plan altered	03.05.06	AK
A	Proprietary Fire escape ladded added	15.01.05	AK
D	Top level balustrade added & windows amended to "As Built"	05.10.06	OM

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Drawn	AK	Date	17.12.04	Revision	-
Checked		Scale	1:100	Ref.	332-073

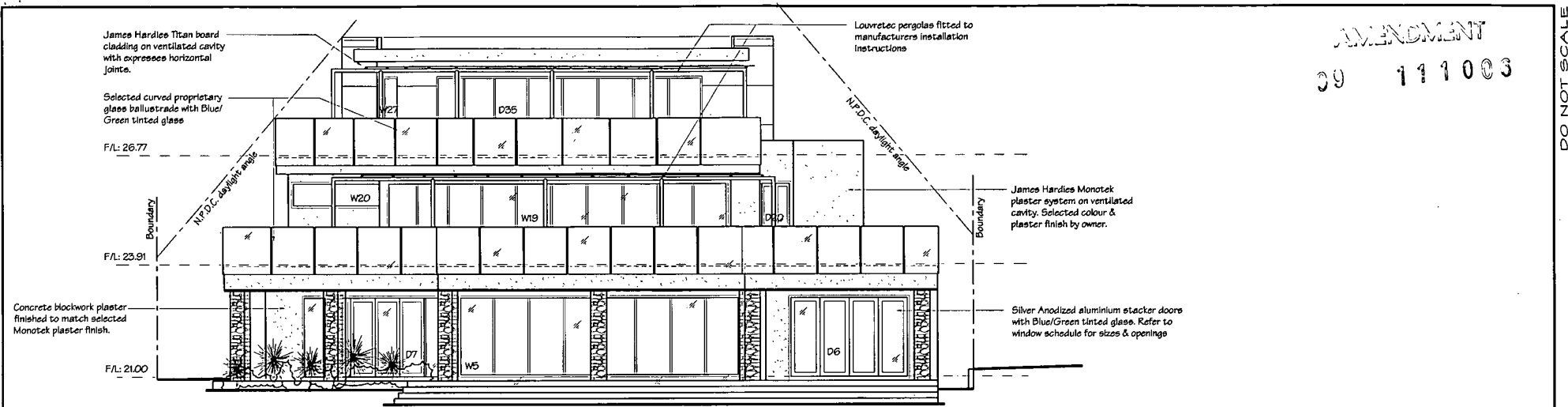
05/10/06 - 17/10 A3-1 ELEVATIONS

Owen McCluggage Design
O.P. McCluggage REGISTERED ARCHITECT
 11 Young Street Dean House
 New Plymouth Ph/Fax (06) 758 6008

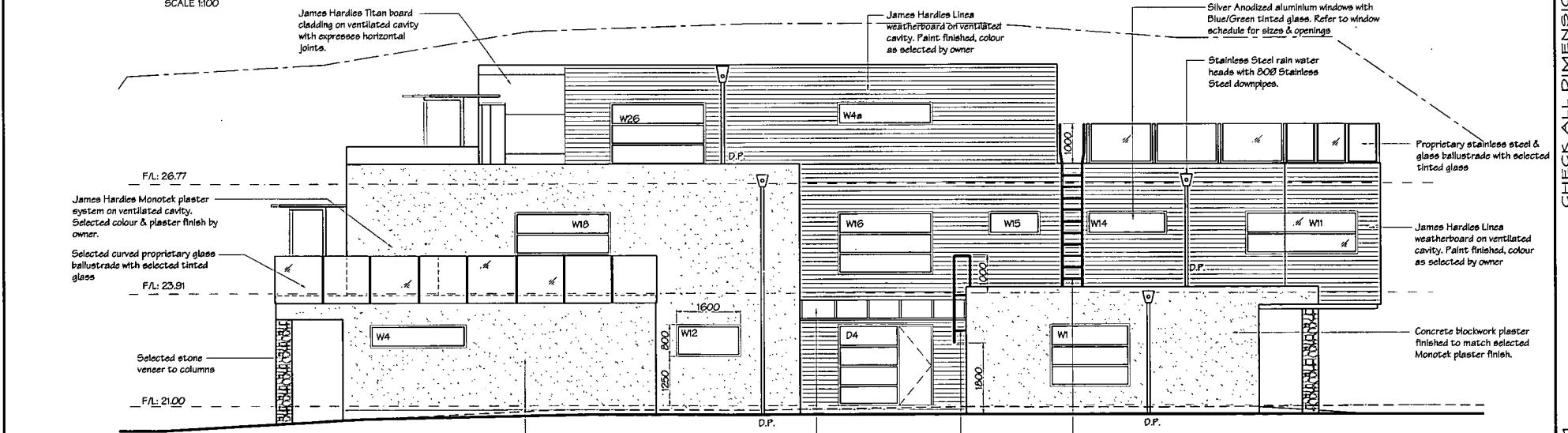
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**PROPOSED NEW HOUSE FOR
 DON CROW
 ROY TERRACE - NEW PLYMOUTH**

DO NOT SCALE
CHECK ALL DIMENSIONS
ORIGINAL SIZE = A1

AMENDMENT
09 111003



BACKYARD (NORTH) ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

C	Fire escape ladders & top floor glass balustrading added to "As Built"	05.10.06	OM
B	First & second floor plans made larger	19.09.05	AK
A	Laundry windows added	04.08.05	AK
	Revision	Date	Rev By

Drawing Title		Sheet	
ELEVATIONS		A3-2	
Drawn	Date	Revision	
AK	19.09.05	-	
Checked	Scale	Ref.	
	1:100	332-073	

A3-2 ELEV.DWG
05/10/06 - 1744



Owen McCluggage Design
O.P. McCluggage ARCHITECTURAL DESIGNER
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New Plymouth Ph/Fax (06) 758 6008

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PROPOSED NEW HOUSE FOR DON CROW
ROY TERRACE - NEW PLYMOUTH

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RECORD OF TITLE

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**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R. W. Muir
Registrar-General
of Land

Identifier **TN116/180**
Land Registration District **Taranaki**
Date Issued 15 June 1927

Prior References
TN116/36

Estate Fee Simple
Area 931 square metres more or less
Legal Description Allotment 5-6 Deposited Plan 1789

Registered Owners

Christopher Laurence Whitaker as to a 1/2 share
Teresa Margaret Whitaker as to a 1/2 share

Interests

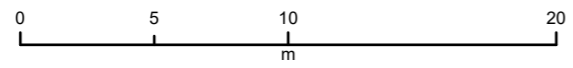


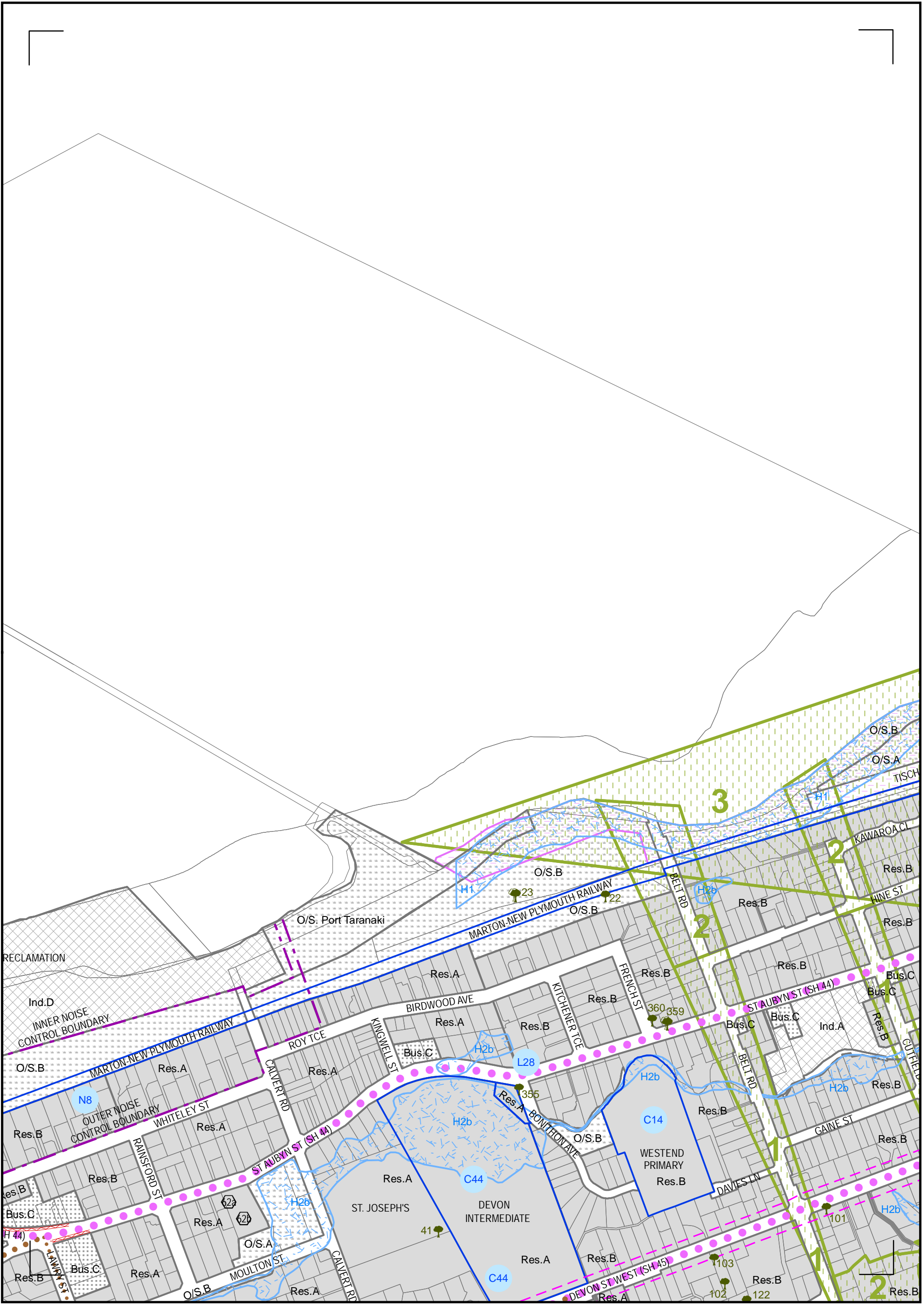
AERIAL MAP + DISTRICT PLAN

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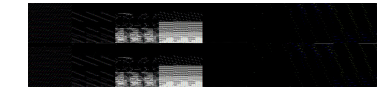
- Natural Source
 - Treatment Plant
 - Pumpstation
 - Storage Unit
 - Hydrant
 - Manhole
 - Alert Valve
 - Air Valve
 - Non-Return Valve
 - Standard Valve
 - Manifold Valve
 - Backflow
 - Meter
 - Restricted Flow
 - Wellup
 - Inlet
 - Outlet
 - Soakhole
 - End Point
 - Node
 - Misc Point
 - Trunk
 - Rise
 - Main
 - Lateral
 - Open Drain
 - Stream
 - Overland Flow Path
 - Misc Polygon
 - Proposed Bund and Ponding Areas
 - Storm Water Mgmt Plan
- Yellow = Privately Owned**
Grey = Out of Service/Closed
- Stormwater**
Water Supply
Waste Water



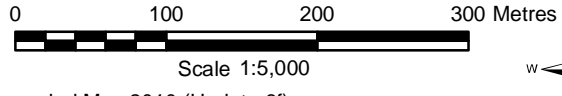


PLANNING MAP
C 23
NEW PLYMOUTH

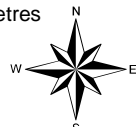
D 3	D 4
C 22	C 23
D 22	D 23



NEW PLYMOUTH DISTRICT PLAN







Amended May 2010 (Update 6f),
 November 2022 (Update 8ay)
 LINZ Base Map October 2022



MAP KEY

NOTES

ENVIRONMENT AREAS




Residential	 Res.A-C
Rural	
Business	 Bus.A-D
Industrial	 Ind.A-F
Open Space	 O/S A-C, O/S Port Taranaki

All public roads, including state highways, have the same zoning as adjoining sites. Where a road has different environment areas on either side, each side of the road takes on the zoning of the adjoining site with the centre line of the road

OVERLAYS

Future Urban Development	 FUD
--------------------------	---

Designations

Govt. Departments, Network Utilities and Local Authorities	 L123
All Public Roads (including State Highways)	 EXAMPLE STREET
Proposed Road Widening	 L71

Refer to Appendix 4 - Schedule of Designations and to section 3 of these maps for detail of proposed road widening and service lanes.

All public roads and state highways are designated.

Hazards

Coastal	 H1
Flood Detention Areas & Spillways	 H2a
Ponding Areas	 H2b
Flood Plain	 H2c
Volcanic	 H3 or  H3

Where the area affected by a hazard is large a border only has been utilised to improve map clarity.

Fault Line	
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Fault Line (Approximate)	
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Airport Flight Path Surface	
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Refer to Appendix 11 - New Plymouth Airport Flight Surfaces and section 3 of these maps for more detail. Airport Flight Path Surface is divided into four zones.

Urban Viewshafts	
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Refer to section 3 of these maps for full details of the urban viewshafts. Urban viewshafts are divided into sections, denoted on the maps as 1, 2 or 3.

Coastal Policy Area	
---------------------	---

Priority Water Bodies	 P.W.B.
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Refer to Appendix 18.

Significant Coastal Areas	 2
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Refer to Appendix 20.

Significant Natural Areas	 2
---------------------------	---

Refer to Appendix 21.

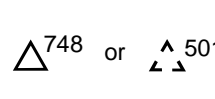

Preferred Esplanade Reserves & Strips	 25
---------------------------------------	--

Refer to Appendix 17.

Outstanding Landscape	
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Regionally Significant Landscapes	
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NP Entrance Corridors	
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Waahi Taonga/Sites of Significance to Maori & Archaeological Sites (Extent shown in orange)	 748 or  501
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Refer to Appendix 26. Location and extent of waahi taonga/Sites of Significance to Maori and archaeological sites is indicative only. Broken triangles represent silent files which are accurate to parcel only.

Heritage Buildings & Items	 3
----------------------------	---

Refer to Appendix 8.

Notable Trees	 123 or  150
---------------	--

Refer to Appendix 13.

Where a symbol has a shadow line, this indicates a group of notable trees is located on the site.

Defined Retail Frontage	
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High Voltage Electricity Transmission Lines (766kV)	
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Energy Pipelines	
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Noise Control Boundaries	
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Refer to Appendix 12. Port Taranaki Noise Control Boundaries: Planning Maps C21,C22,C23,D22. Airport Noise Control Boundaries: Planning Maps C5,D5,A30,A31.

Indicative Collector Road	
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Indicative Local Road	
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Indicative Pedestrian Route/Link	
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OTHER

State Highway Limited Access Road	
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Refer to Appendix 23 Part A.

State Highway	
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Arterial Road	
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Collector Road	
----------------	---

Local Road	
------------	---

District Boundary	
-------------------	---

Indicative Rivers	
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Structure Plan Area	
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Method of Sale

- Expressions of Interest

Disclaimer

Statement of passing over information

This information has been supplied by the Vendor or the Vendor's agents.

Accordingly, Robert Angus Real Estate Ltd is merely passing over the information as supplied to us by the Vendor's agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited or reviewed the information and all intending Purchasers are advised to conduct their own due diligence investigation into the same.

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For further details contact:



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M 029 773 1713

E rachael@robertangus.co.nz